



SHD Application to An Bord Pleanála

Park West SHD
Park West Avenue and Park West Road,
Park West, Dublin 12

Materials & Finishes Report
December 2021

Introduction

The proposed development is on behalf of Greenseed Ltd, for a strategic housing development at Park West Avenue & Park West Road, Co. Dublin. This document provides details of the materials and finishes selected for the proposed residential Blocks A-G.

This Report has been prepared in response to An Bord Pleanála Stage 2 Opinion - point no. 10 which states:

A report that specifically addresses the proposed materials and finishes of the proposed structures including specific detailing of finishes and frontages including the maintenance of same, shop-fronts and commercial units, the treatment of landscaped areas, pathways, entrances and boundary treatment/s. The treatment/screening of exposed areas of basement ramps and any podiums as well as the under side of the proposed highline structures should also be addressed. Particular regard should be had to the requirement to provide high quality and sustainable finishes and details which seek to create a distinctive character for the overall development. The documents should also have regard to the long term management and maintenance of the proposed development.

Response:

This report identifies the principal external finished materials to be used in the proposed development, illustrated with planning drawings, computer generated images, and reference images to describe the proposed colours & textures including – pre-coloured

render finish & two-toned brick façades to the urban blocks, cantilevered, protruding, and recessed balconies, winter-gardens, perforated & solid metal cladding, curtain wall glazing, pre-cast concrete canopies and fibre-cement cladding.

At street level, the façade is animated by own-door apartment entrances which are demarcated by double height pre-cast concrete framing systems and protruding balconies, with retail and commercial façades that have their own distinct design language. These devices are used to reflect domestic proportions and articulate the building volume for the user at street level, giving a human scale to the urban blocks.

The community and amenity uses are marked out with a special use of colour and material treatment to set them apart from the primary blocks and to provide animation and interest within the overall composition.

Carpark entrances and screening of carpark areas has been carefully considered in the overall design and layout. All carpark entrances are accessed at grade via recessed entrances set back off the street. The carparks themselves are wrapped externally by a plinth of two-storey own-door apartment units, in order that long blank façades are completely avoided in favour of active façades with a domestic scale expression.

External landscaping has been carefully designed and materials specifically chosen to reinforce place making and provide definition to different character areas across the scheme. External spaces have been carefully designed to minimise hazards or impediments to access or movement. Hard landscape surfaces are chosen for slip resistance and

to be free draining. A planting palette was selected to create biodiversity and native plants were prioritized during the selection. SuDs features are used throughout the site, including green roof systems, structured soil in continuous tree pit for the street trees along the roads, and an attenuation feature within the public realm. Boundary treatments vary across the site in response to the varying boundary conditions. All details on the treatment of landscaped areas, pathways, entrances and boundary treatment/s can be found in the **Landscape Design Report** prepared by Murray & Associates Landscape Architecture.

All chosen materials have been selected due to their inherent characteristics & robustness suitable for the new residential quarter at Park West. Careful detailing and designs have been developed to afford low maintenance and longevity of the materials. This report should be read in conjunction with the **Building Lifecycle Report** prepared by Greenseed Limited, which goes into further detail on the proposed material used and their descriptions, proposed lifecycle, selection reasons and maintenance requirements.

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Section 2

Landscape Materials & Finishes

17. Hard Landscaping Materials
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Report to be read in conjunction with -

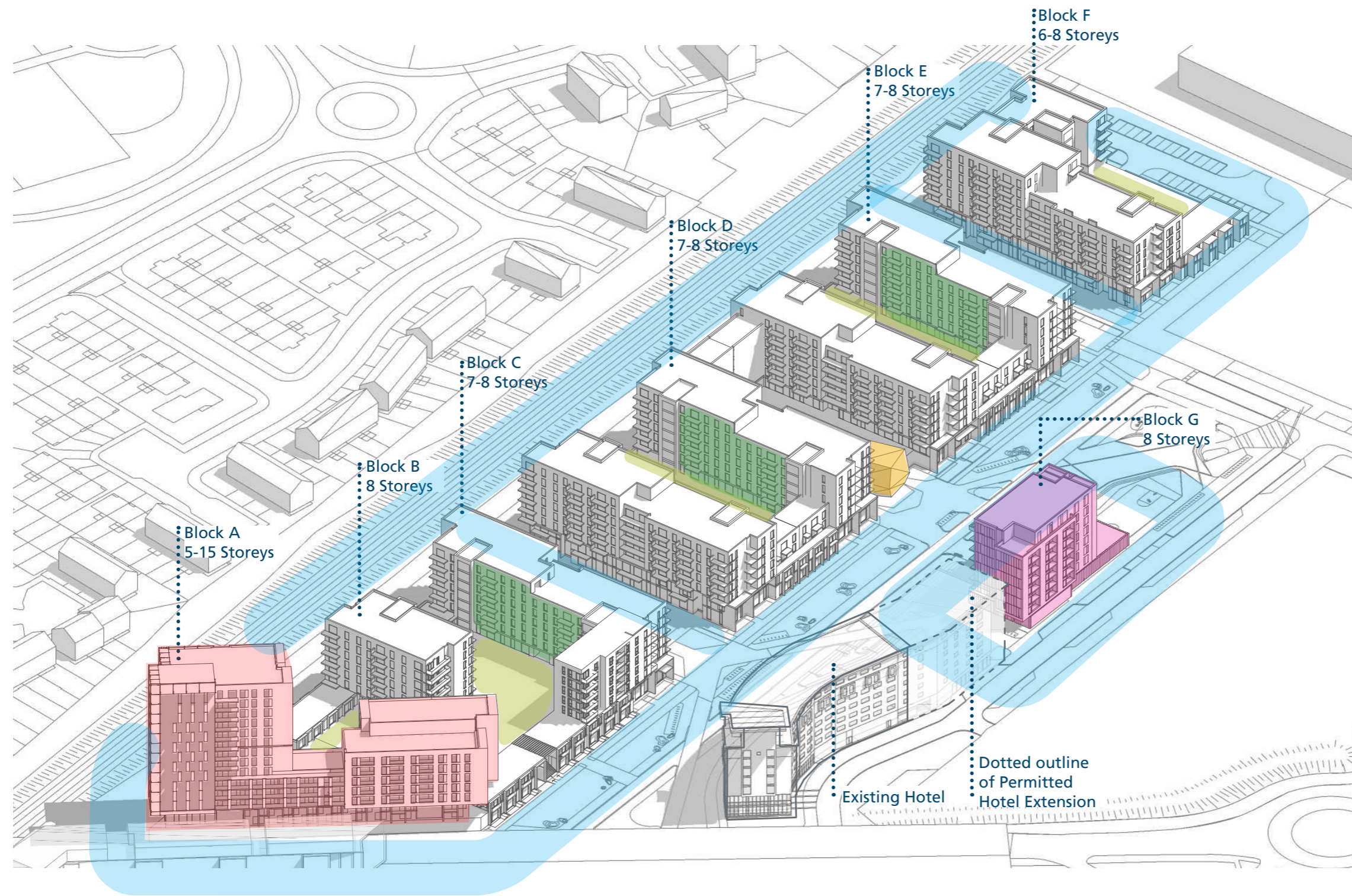
Landscape Design Statement
prepared by Murray & Associates.

Building Lifecycle Report
prepared by Greenseed Limited

Architectural Design Statement
prepared by Darmody Architecture

Section 1 - External Building Materials & Finishes

Overview of Proposed Development



The key concept of the design of the urban blocks is to execute a high quality architectural expression for the new urban quarter, which will enhance the existing Park West area.

The character and material selection of the proposed development has been given a considered approach in terms of the public, semi-public, and private realms between each of the urban blocks. The choice of brick, render finish, metal cladding, and varying balcony arrangements are each used to ornament and articulate each façade, for the proposed residential and commercial development.

- Block A expressed as a 15-storey urban marker to the NW corner of the proposed development, acting as an active gateway with a well-considered balance of materials
- Edges of each urban block exhibiting a public face with detailed expression and composition
- Inner courtyards and podium level, which is semi-private and permeable for the public, which provides areas of communal amenity space
- Private realms for residents expressed in differing materials and balcony treatments

- Block A urban marker & gateway
- Public edge to each urban block/public realm
- Inner courtyards & communal amenity spaces
- Private realms for residents/facades with alternative balcony treatments
- Block G with creche & community uses at street level
- Communal Amenity Pod with sculptural expression

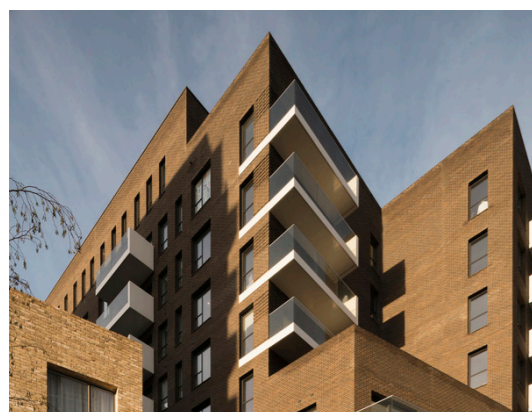
▲ Isometric view of proposed scheme with storey numbers indicated

Material Expression - Overview, Materials & Expression



The principal external finished materials proposed include – brick and metal cladding façades, green roof finishes, selected Alu-clad fenestration, recessed/ semi-recessed/ projecting metal structure balcony details.

These quality materials have been selected due to their inherent characteristics & robustness suitable for the new residential quarter. Detailing has been developed to afford low maintenance and longevity of the apartments.



Materials Legend - to be read in conjunction with Darmody Architecture Drawings & Design Statement

- 01 Selected brickwork to Architect's detail & specification - Note, 2No. complimentary tones of brick proposed. Please refer to reference images.
- 02 Selected brickwork cladding panel divided with graphite coloured steel channel.
- 03 Graphite coloured steel channel to Architects Detail & Specification.
- 04 Aluminium cladding panel to selected colour and Architects Detail & Specification. Please refer to Design Statement for reference images.
- 05 Powder coated architectural cladding panels to selected colour & Architects selection and specification.
- 06 Recessed Balcony & metal balustrade to selected colour & Architects Detail & Specification.
- 07 Cantilevered Balcony & metal balustrade to selected colour & Architects Detail & Specification.
- 08 Selected Alu-clad or similar double glazed windows with an arrangement of openable and fixed glazed panels.
- 09 Selected Alu-clad or similar double glazed windows and AOV with architectural cladding/ spandrel panels to selected colour to Architects selection and specification.
- 10 Selected Alu-clad or similar door and fixed glazed panels to access the external balconies/terraces.
- 11 Perforated aluminium sheet cladding to lobby entrance to selected colour, Architects selection and specification.
- 12 Panels of U profiled channel obscure glass / Regilit to Architects selection and specification.
- 13 Curtain wall glazing system with integrated doors to double height lobby area.
- 14 Selected metal balustrade to selected colour & Architects Detail & Specification.
- 15 Externally exposed structural fairfaced concrete sculptural columns.
- 16 Pre-cast concrete frame element to Architect's detail & specification
- 17 Perforated aluminium panels.
- 18 Fibre cement cladding.
- 19 Fair face concrete string course
- 20 Concrete capping to parapet.
- 21 Selected Alu-clad or similar double glazed windows with an openable section and a solid panel.
- 22 White render wall finish to Architect's detail & specification
- 23 Aluminium framed glazed wintergardens with sliding opening sections and glazed balustrade
- 24 Powder-coated aluminium curtain wall glazing to retail/cafe/community unit with solid aluminium signage panels
- 25 Selected Alu-clad or similar approved double glazed French windows with powder-coated metal balustrade to selected colour & Architect's specification
- 26 Powder-coated mild steel gate to under-croft carpark with aluminium louvred infill panels to selected colour and Architect' specification
- 27 Pre-cast concrete canopy/pergola with powder-coated steel columns to architect's specification
- 28 Architectural precast concrete wall panels to Architect's specification
- 29 Selected Aluminium Canopy above Apartments Lobby Entrance
- 30 Powder-coated aluminium curtain wall glazing to amenity unit with solid & perforated aluminium cladding panels to Architect's specification
- 31 Powder-coated mild steel doors to sub-stations & meter rooms

▲ Reference images of various materials and expression being utilized throughout scheme

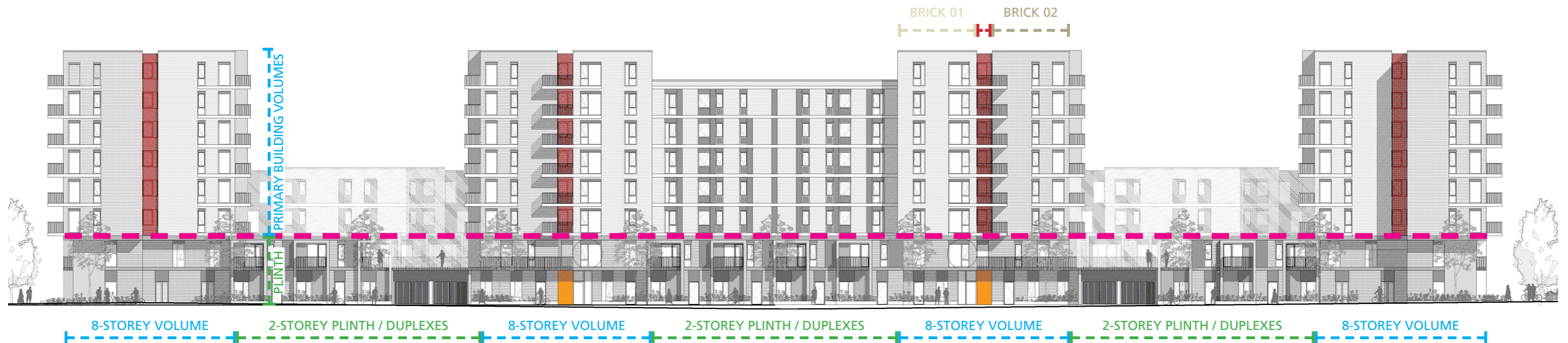
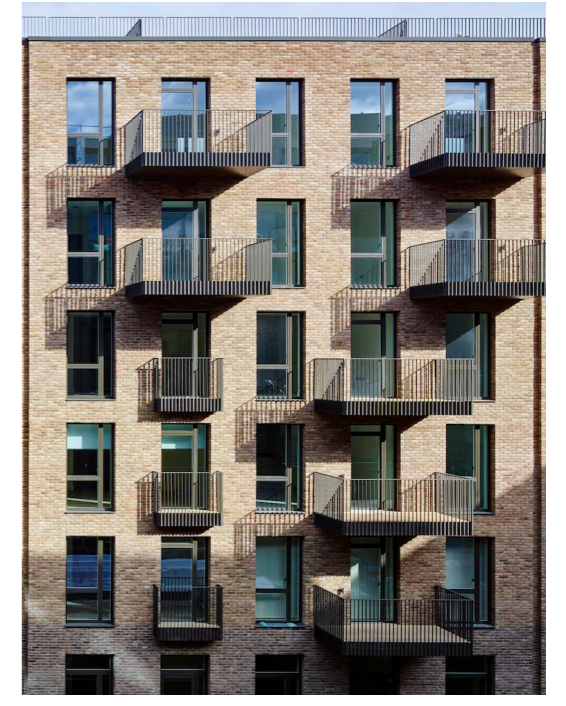
Materiality & Expression - Apartment Blocks A-F

Primary Expression

In principal, each of the different Blocks is expressed as two distinct linear brick volumes housing the apartment units and divided by a central common corridor. This is carried through to the expression of the building externally where a neutral palette of two contrasting tones of brickwork is offset by the use of strong colour to mark the circulation spines and entrance points.

These primary volumes sit upon a unifying two storey plinth which houses the undercroft car-parking at ground level and is lined with 2 storey own-door apartment units, each with their own individual articulation, and lending the composition a more intimate domestic scale at street level.

Balconies are used to articulate corners where possible and recessed balconies are used to express breaks between the building volumes, or where there is stepping in height.

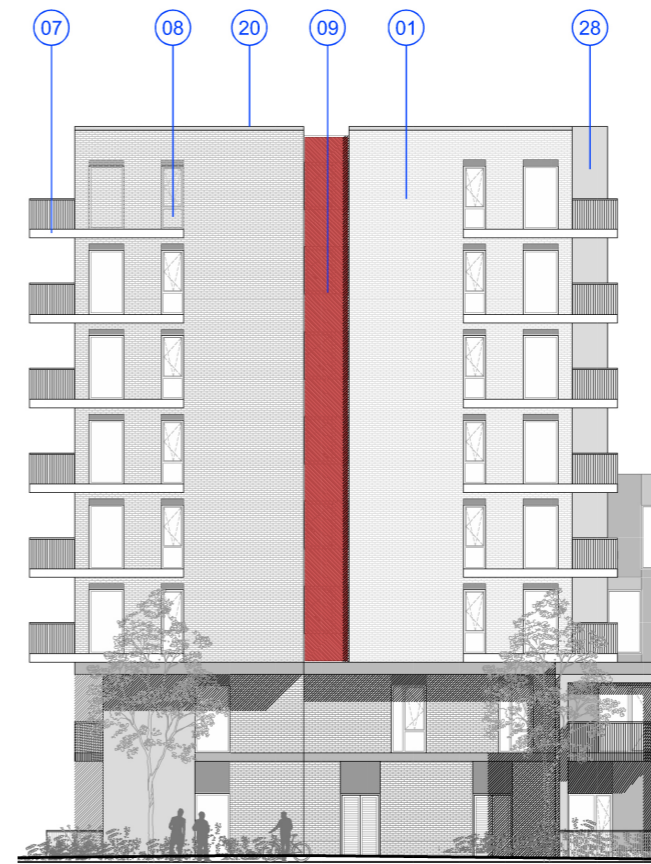


▲ Block D-E
Proposed North Elevation

Material Selection - Apartment Blocks A-F
Blocks C-E West, East & South Elevations

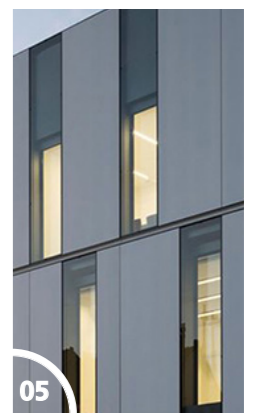
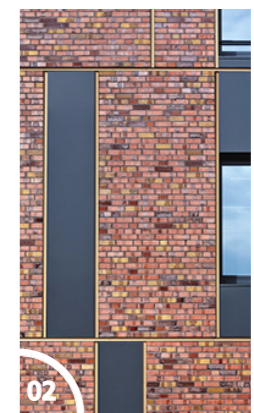
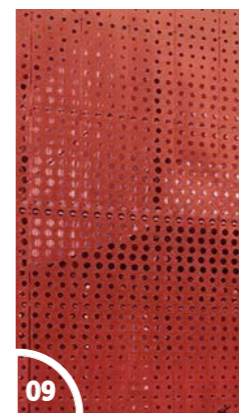
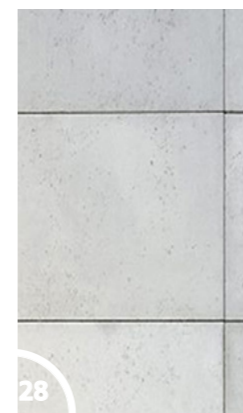
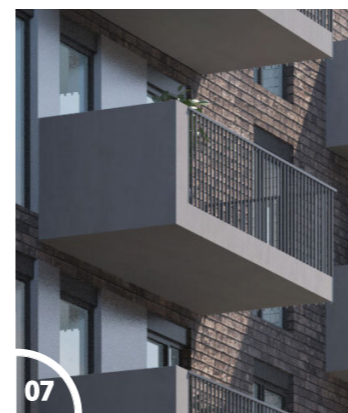
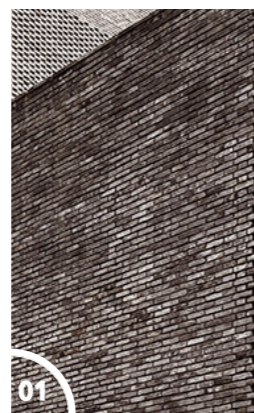
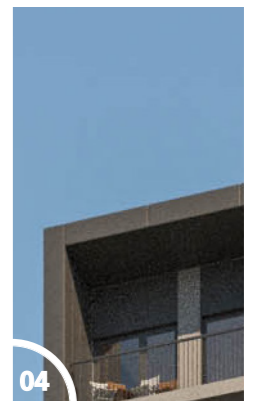
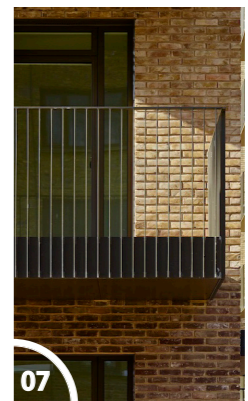
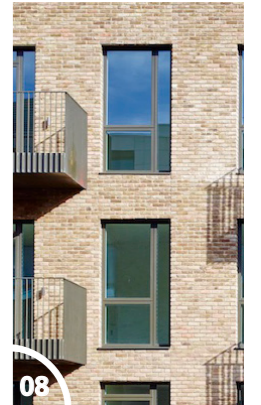


▲ West elevation of Block D

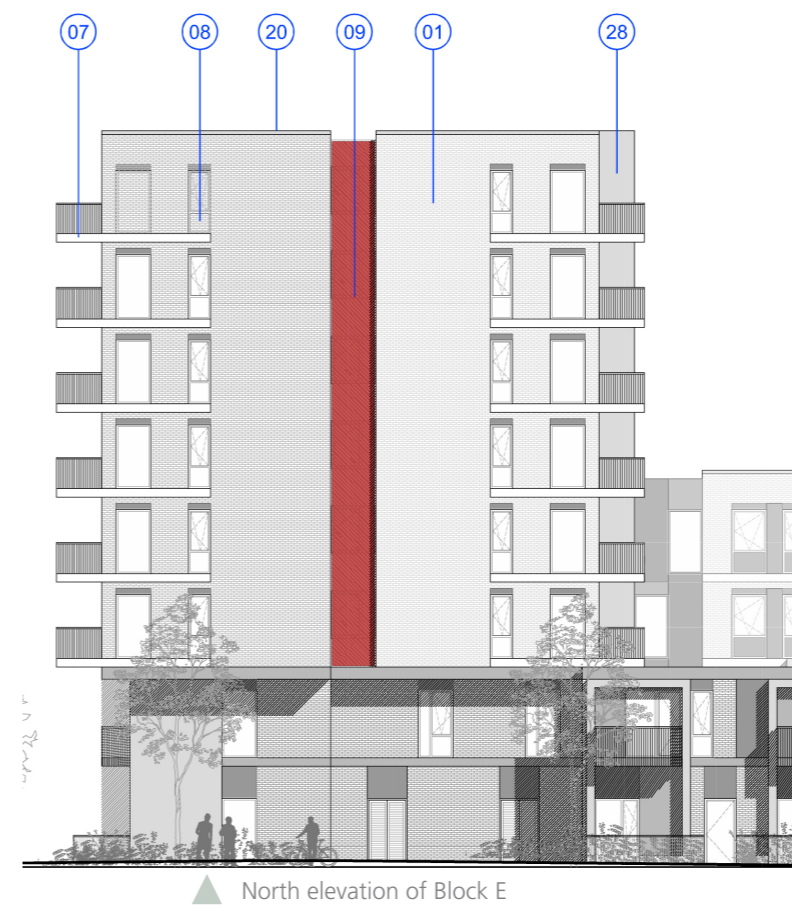
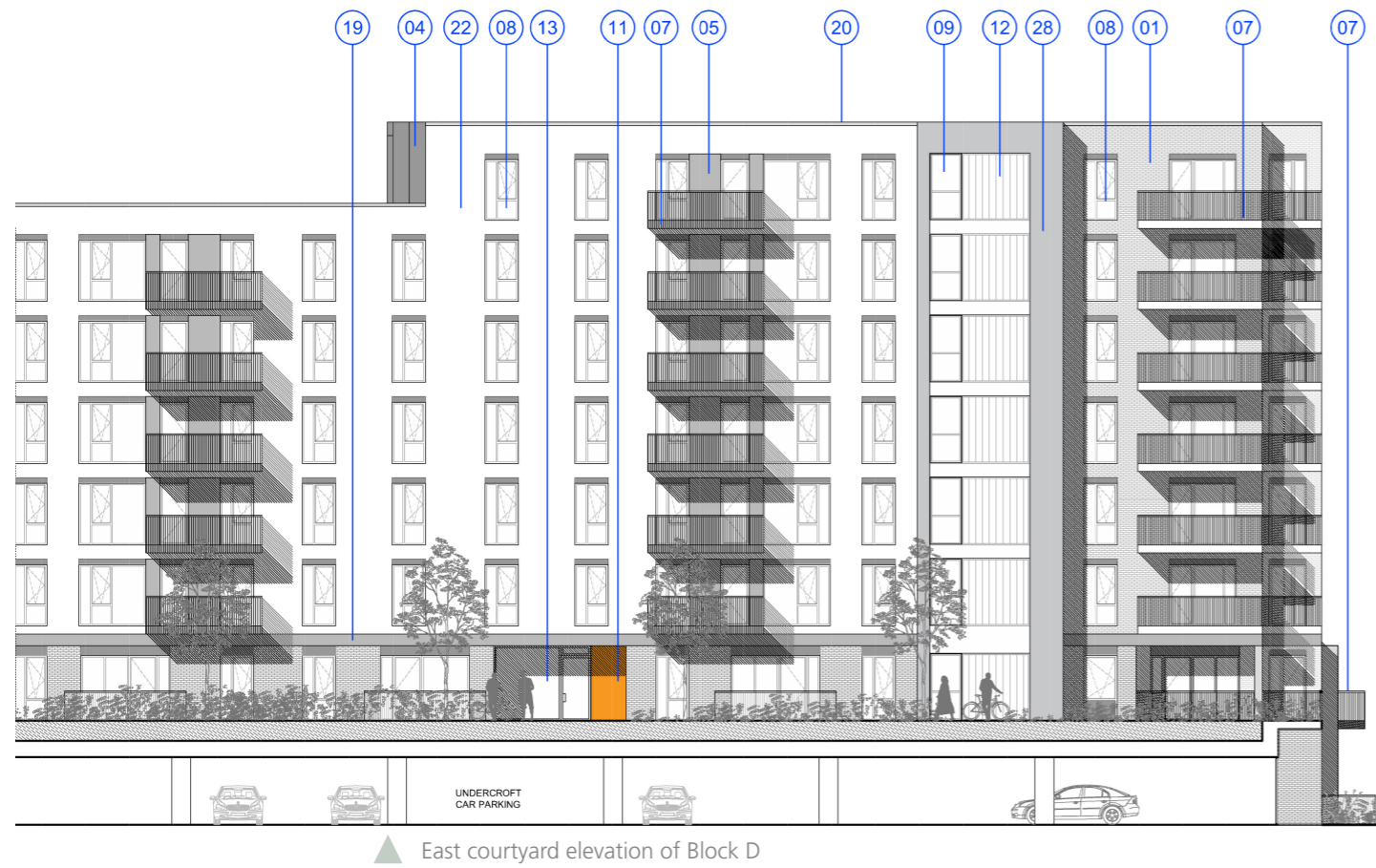


▲ South elevation of Block E

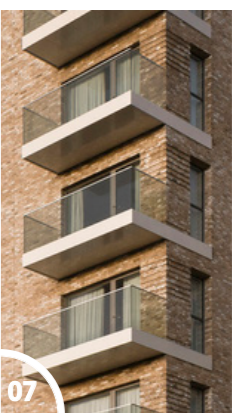
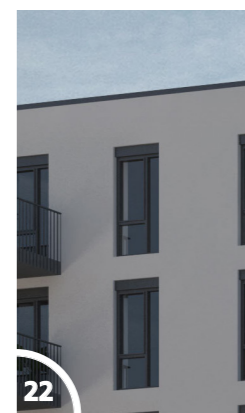
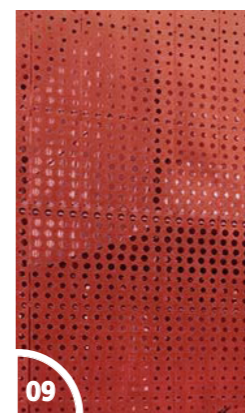
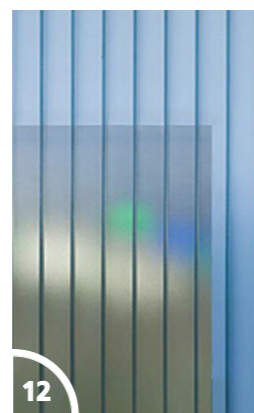
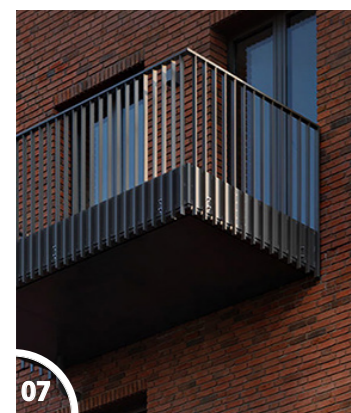
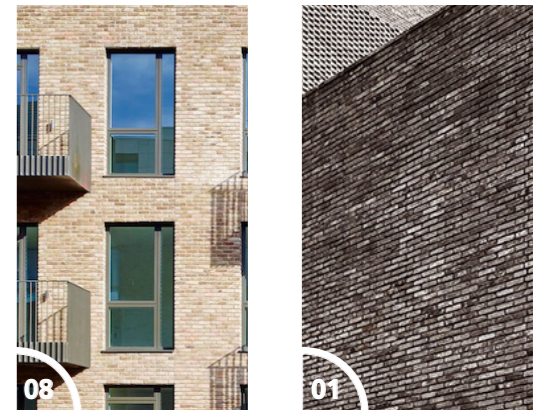
Note:
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Materials Legend on Page 2



Material Selection - Apartment Blocks A-F
Blocks C-F Courtyard & North Elevations



Note:
Drawing to be read in conjunction with
Materials Legend on Page 2



Materiality & Expression - Block A Tower

The ground floor at the corner is raised up on a series of sculptural V-shaped columns, acting as a colonnade behind which a sheltered access to the proposed new commercial unit is provided.



The 15 storey tower element is broken down into a primary volume at the corner and a recessive volume behind, in order to further accentuate the building's height and to lend a more slender appearance.

Tower North Elevation

Facing the approach from the railway bridge, the tower rises up to 15 storeys, articulated as two slender volumes projecting above a set of V-shaped columns, under which is the new retail space entrance. The volume has been split in two vertically in order to further accentuate the vertical proportion.

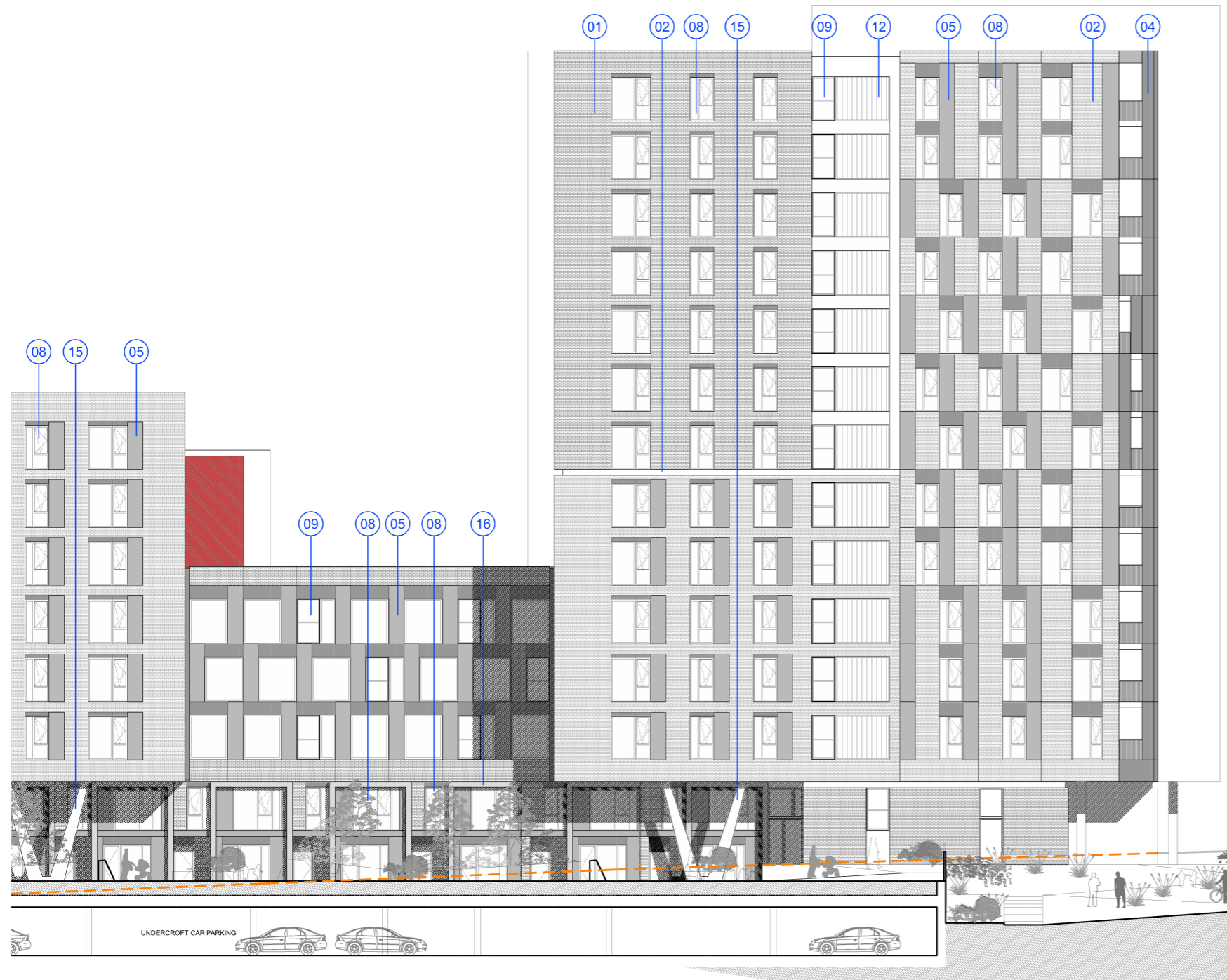


South-west elevation of Block A facing onto Park-West Avenue. The 15 storey tower creates a visual landmark at the corner and acts as urban marker at the gateway to the development and beyond

The length of the SW facade is broken into 2 primary volumes of 15 storeys and 8/9 storeys, which are set apart front each other by a 5 storey link piece. 2 storey Duplex units line the street at ground level creating an active frontage

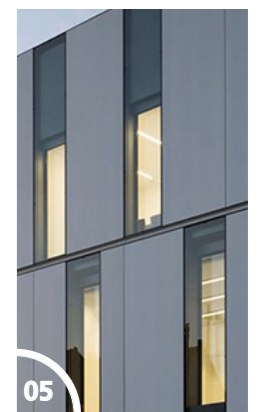
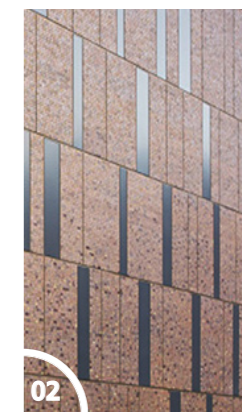
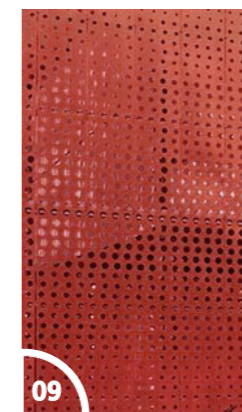
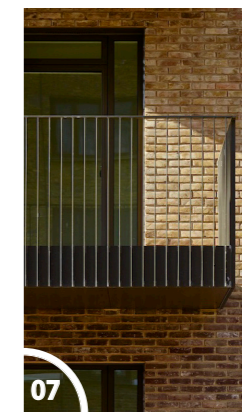
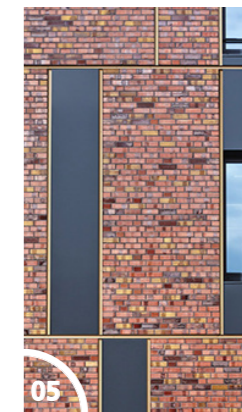
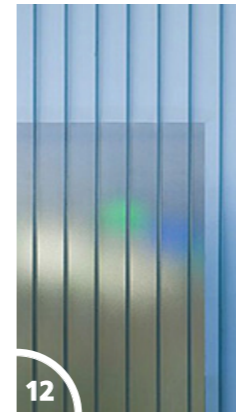
Section 1

Material Selection - Block A Tower



▲ North-east elevation of Block A

Note:
Drawing to be read in conjunction with
Materials Legend on Page 2



Materiality & Expression - Block G & Creche



▲ Reference of coloured cladding material allowing light and visual transparency



▲ Reference of anodized cladding to form a secondary screen to recessed balconies for material animation



CGI of proposed perforated metal screening encased within the facade of the urban block



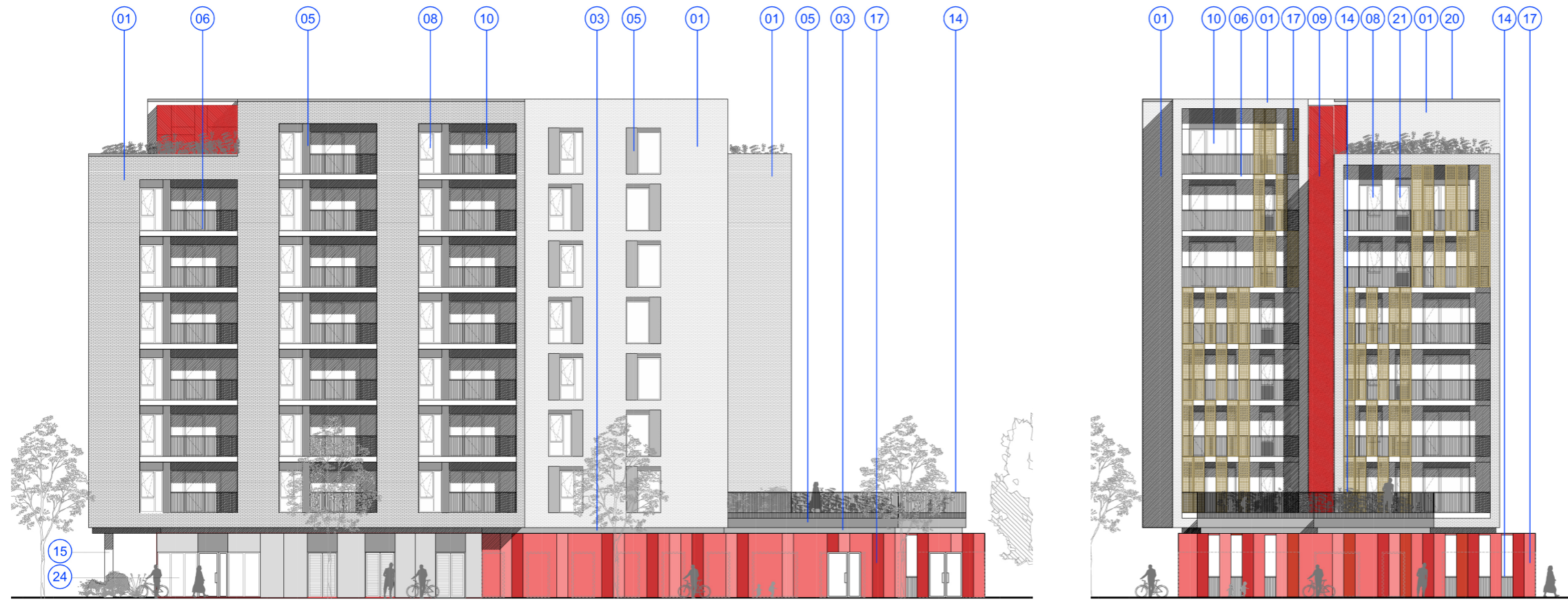
▲ Red material cladding facade at ground levels resulting in an external screen housing the creche outdoor play spaces



The material selection for Block G proposes the use of lightweight cladding, screens and glazing as a contrast to the primary brick volumes into which they sit. A layering of screen / balcony / cladding & glazing materials create a playfulness and depth of field that add visual interest to this standalone building.

Anodized/pre-coloured cladding forms a plinth to the block, which is hard wearing and playful to match the upper levels. The combination of brick and metal cladding offers a robust material selection for this stand alone urban block.

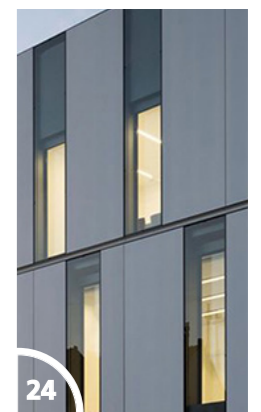
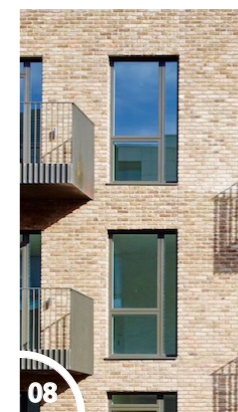
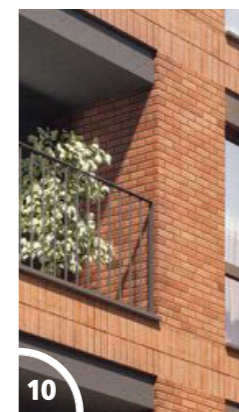
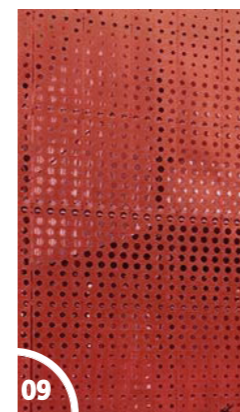
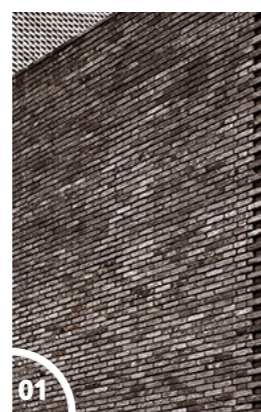
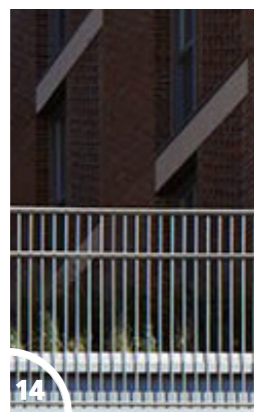
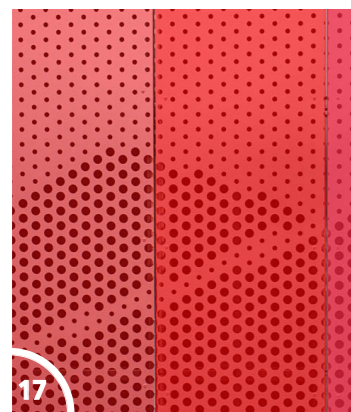
Material Selection - Block G & Creche



Note:
Drawing to be read in conjunction with
Materials Legend on Page 2

▲ South elevation of Block G

▲ East elevation of Block G



Facade Materiality - Brickwork & Render



Externally, the proposed Blocks are expressed with two contrasting tones of brickwork to the public realm, which are offset using strong colour to mark the circulation spines and entrance points which is carried through to the expression of the building.

The brickwork selection is a combination of light buff colour, and a dark toned brickwork to the urban blocks. Where linear brick volumes housing the apartment units are divided by a central common corridor, a change of brick selection occurs which adds visual interest to the massing of the proposed blocks.

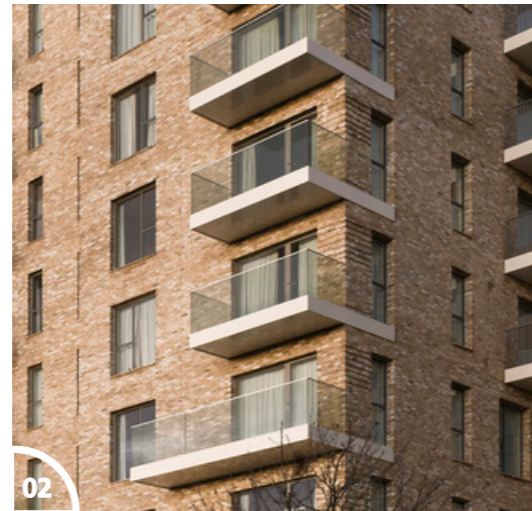
All proposed blocks are linked visually with a plinth to the street level, which ties the volumes together. This expression is enhanced by a strong continuous brickwork façade, with secondary elements such as double height entrance portals, selective cladding, projecting and cantilevered balconies. On the inner face of each block, render finish is proposed to the elevations of the communal courtyard spaces, which are semi-private and screened partially from the public realm. A pre-coloured acrylic render is proposed to ensure a vibrant and durable elevation treatment, which is further complimented by an array of cantilevered balconies with metal balustrades.



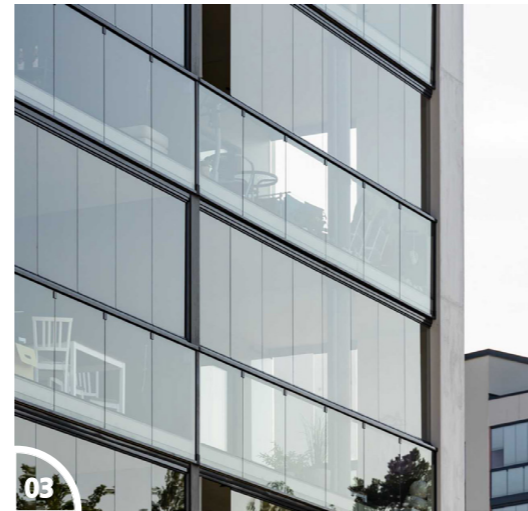
Material Expression - Balconies



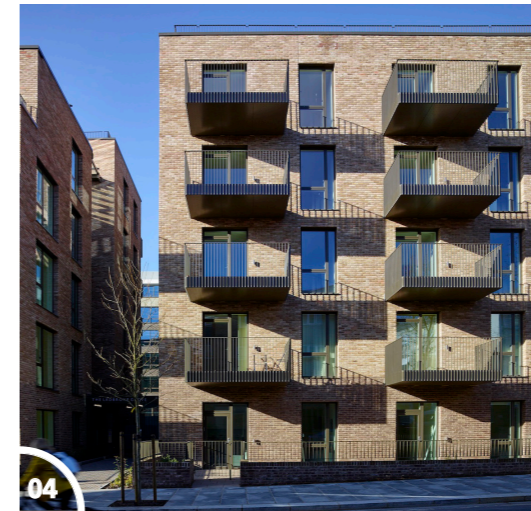
01 ▲ Cantilevered balconies with solid side panel for animation and visual interest



02 ▲ Typical stack of corner balconies with horizontal plane wrapping around the corner to form a concrete string detail.



03 ▲ Glazed winter gardens as alternative to typical balcony structure with sliding glazed screens



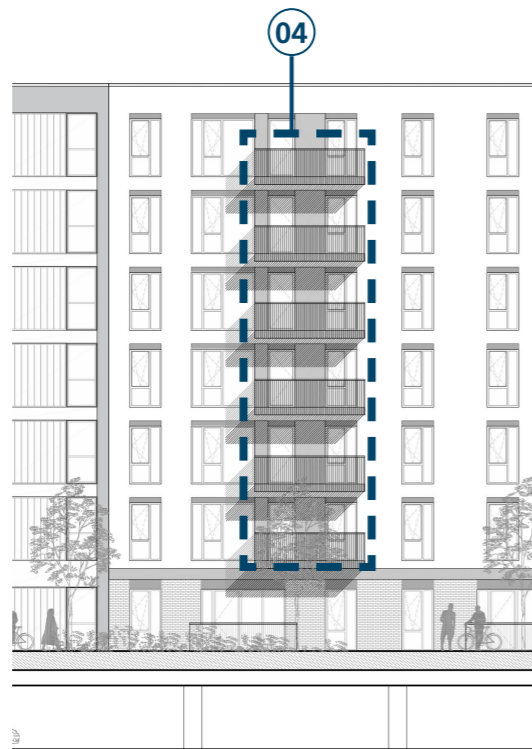
04 ▲ Typical stack of balconies with subservient vertical metal railings to inner courtyards

The balcony type will be linked to its context. The design, location & orientation will be dependant on various factors, including privacy, overshadowing, distance between buildings, traffic and climate.

The allocation of external and recessed balconies across the façades are used as a device of articulation and animation. The concept for each typology is a play on the level of projection on the façade, and proximity to the public realm. Solid deck balconies with metal cladding are proposed as projecting and cantilevered elements with metal balustrades and solid side panels for those located to the public and internal streets. Semi-recessed balconies are composed of brickwork to match the external façade, and at positions where a change in volume occurs, glazed winter gardens are proposed.



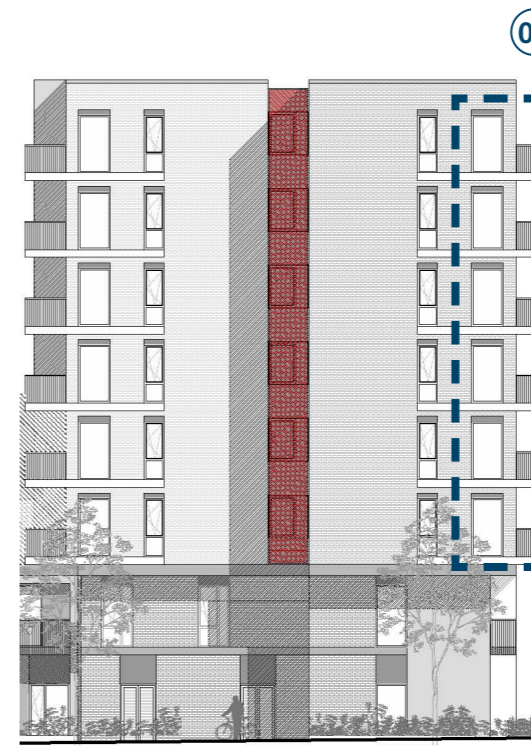
▲ CGI View of typical corner balconies with concrete string detail on return elevation



04 ▲ Typical section of courtyard facade with projecting balconies stacked in columns with solid deck and metal balustrades



03 01 ▲ Typical section of facade with both projecting balconies stacked in columns and recessed balconies acting as a break between different building volumes



The key concepts for balcony designs incorporates the following;

- Semi-recessed balconies which are devised to break the building volume and mediate changes in height
- Projecting or cantilevered balconies comprised of solid side panels, and metal balustrades adding variety and playfulness
- Corner balconies to articulate the building edge, with floorplates that wrap around the corner and connect to the adjoining elevation
- Winter gardens which are set back from the façade, and finished with openable glazing externally
- Deeper ground floor terraces at ground and podium levels with landscaped screening/buffering to allow enhanced privacy to communal & public areas

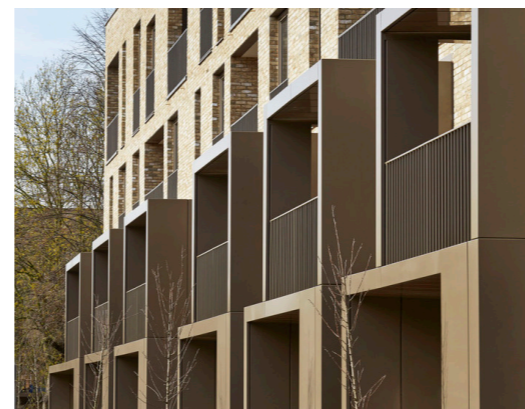
Material Expression - Own Door Apartments



South-west elevation of Block A facing onto Park-West Avenue, with own door apartments at street level are animated with individual portal thresholds

50 no. own-door Apartment units are proposed in the development, for which the entrance thresholds are used as devices to articulate and add rhythm to the ground planes of each block.

Entrances to these units are materially announced by pre-cast concrete elements fixed to the façade, upon which an entrance portal frame is formed. Each frame demarcates the transition from public to private zones, and are selected as a different material finish for this reason. To the upper level of each unit, a projecting balcony with metal balustrades are set within the portal frame and help to further articulate and animate the public realm, affording further passive surveillance. These robust concrete forms will be pre-coloured or painted, offering an enduring façade to the public realm, which expresses a domestic scale to the large scale urban blocks.



Reference images of concrete surround to form entrance portal to ground floor residential units

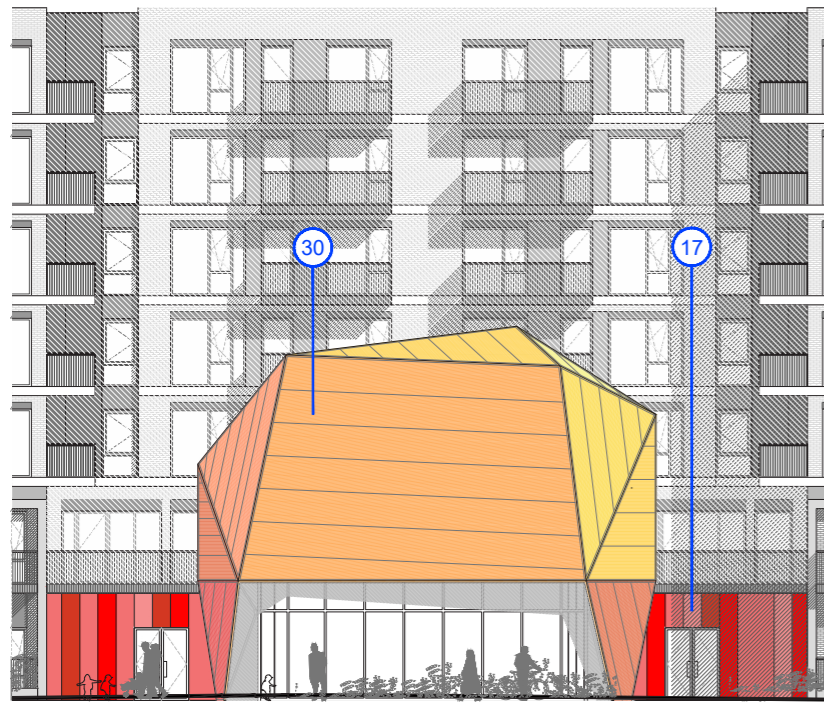


CGI view along linear park - Repeating modules of entrance portals lend a unity of expression to the ground level facades.

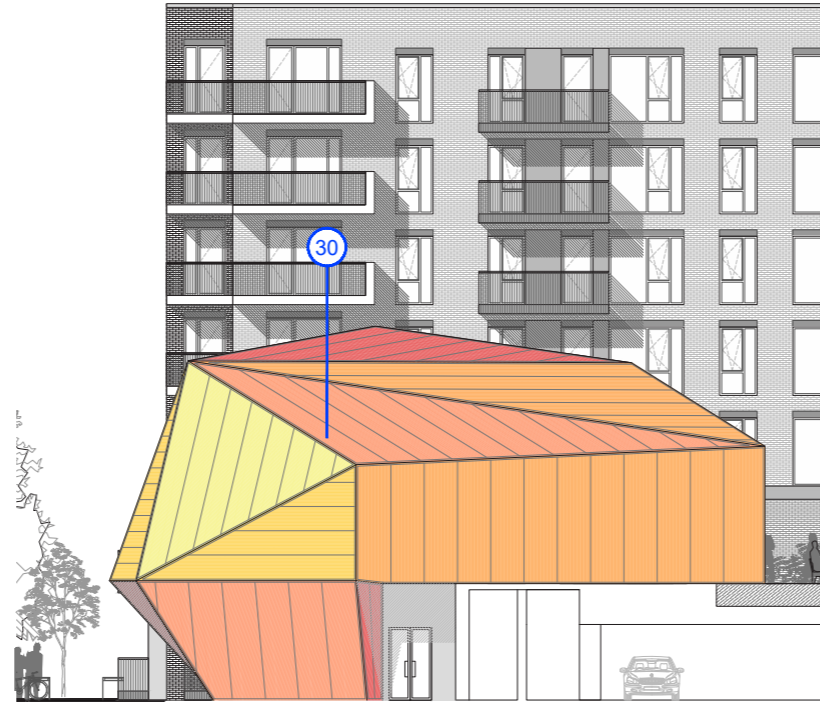


Reference images of entrance portal to ground floor residential units, with articulation and animation to the public edge

Material Expression - Communal Amenity Building



▲ Primary Elevation of Amenity Building facing onto the linear park



▲ Side Elevation of Amenity Building

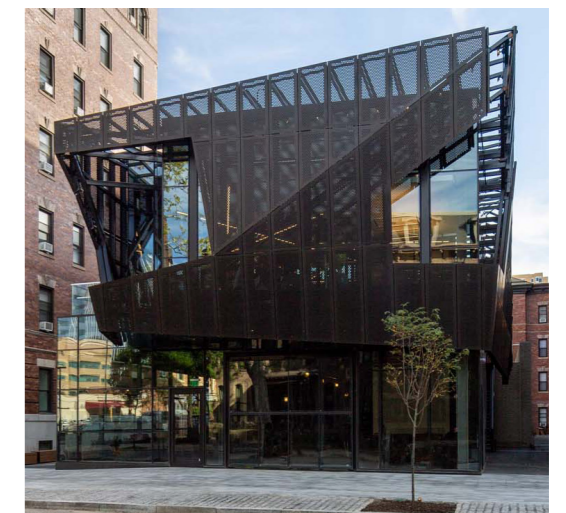
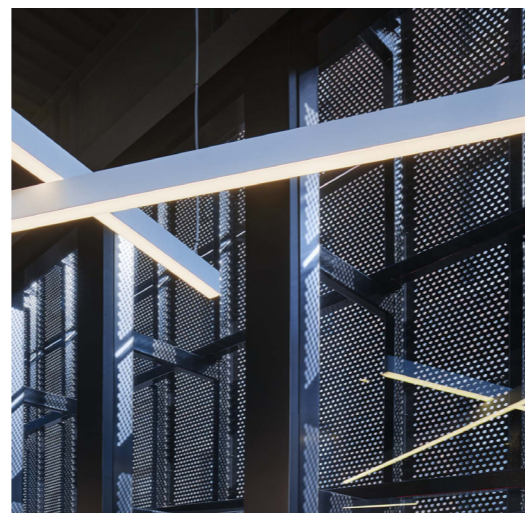


Reference images for independent structure with expressive folding perforated metal cladding structure finished with distinctive colour treatment

▲ CGI of proposed Amenity Building with glazing & perforated metal cladding material

Note:
Drawing to be read in conjunction with Materials Legend on Page 2

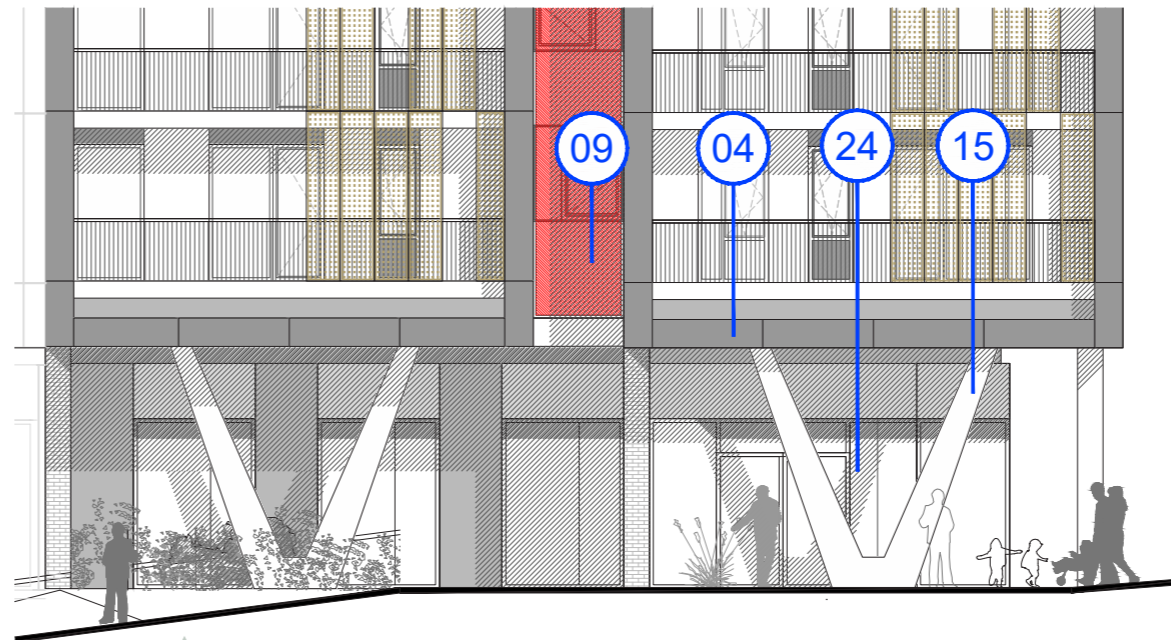
The amenity pod is proposed to be clad with an expanded perforated mesh cladding over a glazed facade, fixed back to the primary structure. These are folded geometric planes, and act a secondary structural skin which allow varying levels of luminance and light to the internal spaces of the pod. The two storey volume which is accessible from the public street level, and the podium, is expressed with selected coloured cladding finish offering a distinctive external quality the to the structure.



Material Expression - Retail & Commercial Spaces

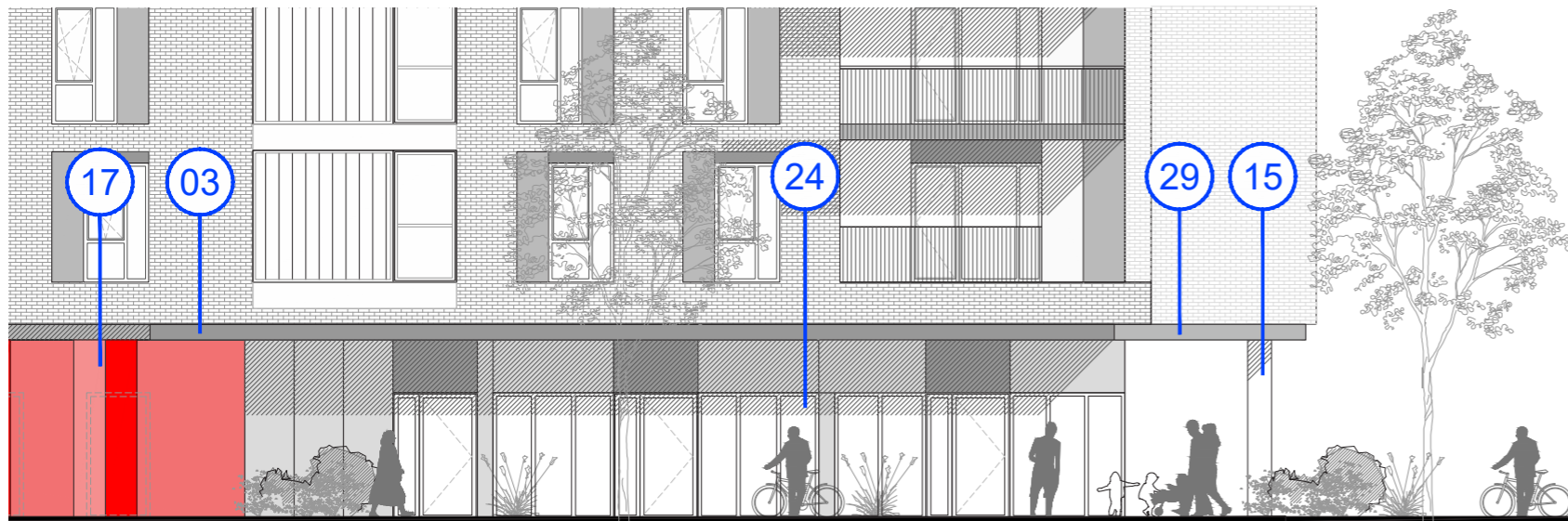


▲ CGI of ground floor retail unit at Block A on the corner of Parkwest Avenue



▲ Extract from Block A North Elevation showing ground floor retail facade

Reference images of successful shopfronts at ground level of residential buildings ▶

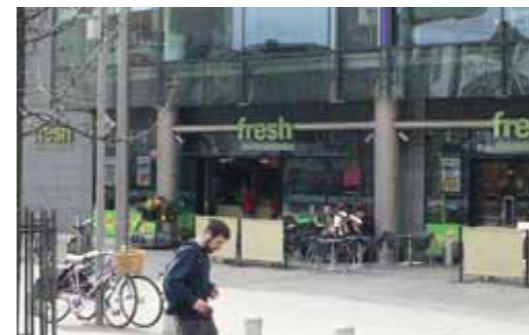


▲ Extract from Block G North Elevation showing ground floor café & creche facades

Note:
Drawing to be read in conjunction with Materials Legend on Page 2

The commercial units at ground floor level in Blocks A and G are comprised of high quality contemporary curtain wall glazing systems with solid aluminium fascia zones for signage. They are designed with slimline mullions and crisp detailing to allow for the appearance of a lightweight and transparent facade that allows the interiors and fit-out of the units to shine through. The design will allow for adaptability to suit a wide range of different retail/commercial tenants. Due regard has been paid to the guidance as set out in Dublin City Council's Shopfront Design Guide as well as the Retail Design Manual published by the Department of Arts, Heritage and the Gaeltacht.

The crèche and community element at Block G is treated with a more playful facade to mark it out as a special use. Anodised/pre-coloured perforated cladding in varying tones form a plinth to the block, which is hard wearing and playful and creates a layering of screen / cladding & glazing to lend a depth of field and visual interest.

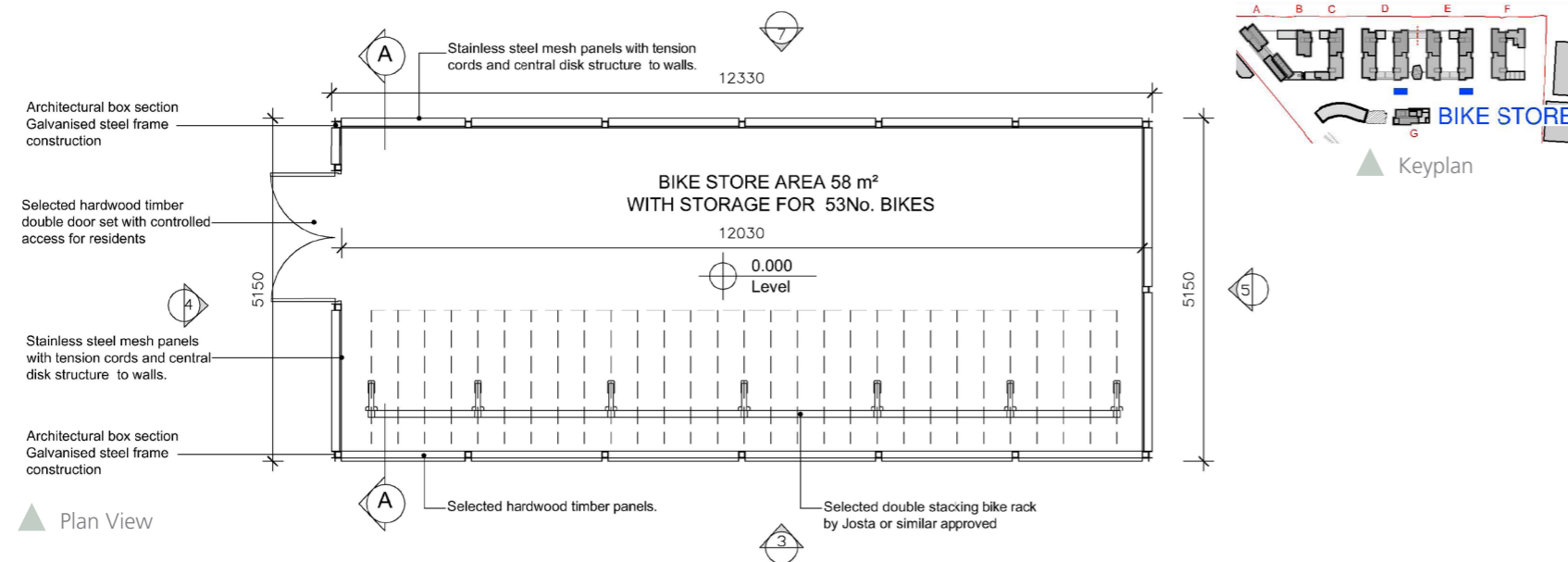


Signage zones are designed into the top section of the commercial façades, to maintain consistency across the units and are constructed in with power-coated aluminium panels. All signage for shopfronts will be designed in accordance with Section 16.24.3 of the DCC Development Plan "Signs of Shopfronts and Other Business Premises".



Security for commercial units will be constricted to roller shutter systems placed inside of the glazing, either with an open mesh or fine gauge systems to allow for a clear view of the retail interiors even when shut. This, together with careful consideration of lighting will ensure that commercial spaces contribute to the streetscape even when closed.

Material Expression - Bike Storage Enclosures



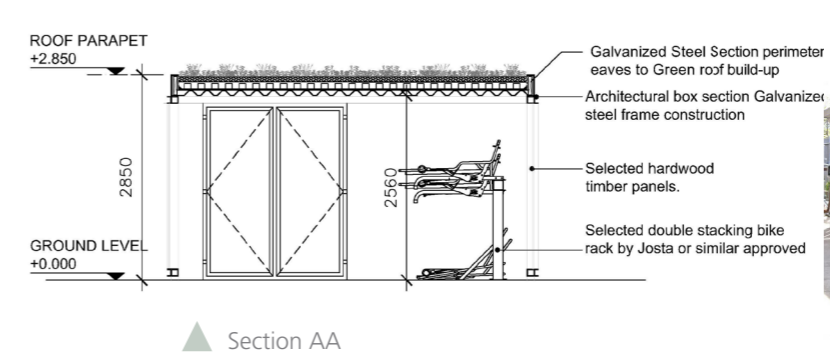
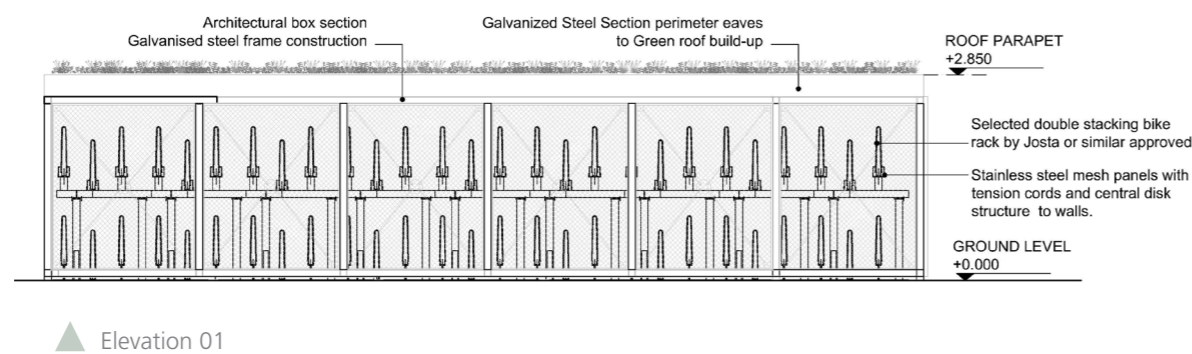
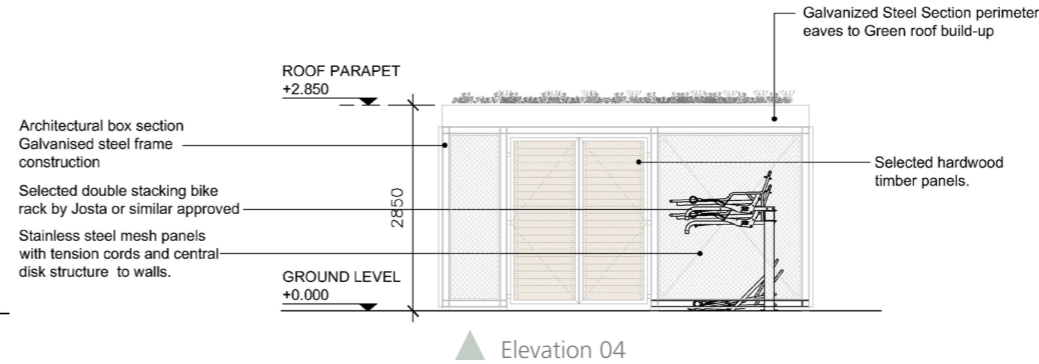
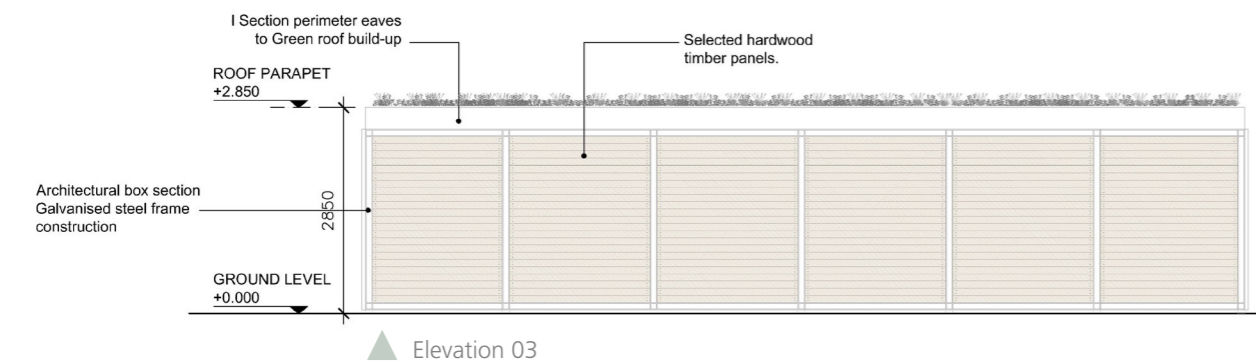
Ref Image; Bike Storage Enclosure with green sedum roof

A contemporary palette of materials is proposed to create 2 no. bicycle storage enclosures set within the public realm adjacent to the linear park, that will blend and be easily screened together with the proposed soft landscaping.

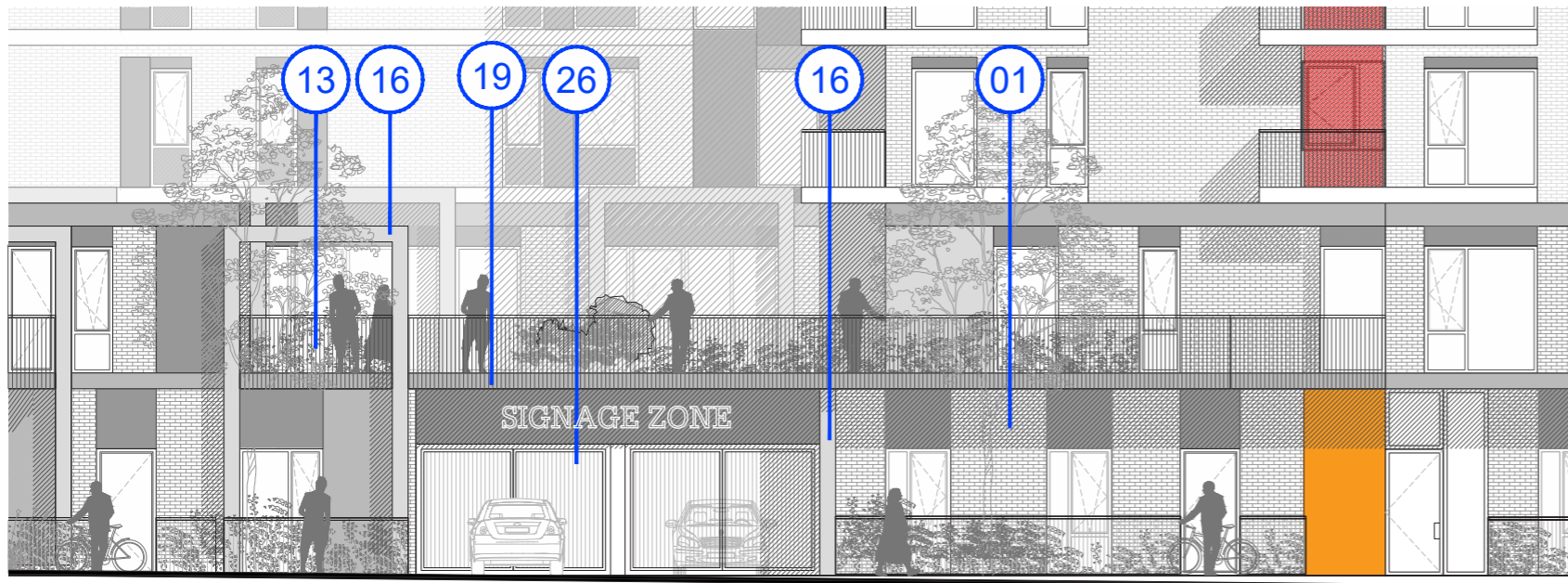
The proposed bike storage units are single storey in form and have been designed for secure and discrete storage for all residents. They are located alongside the linear promenade across from blocks D & E and are easily accessible from a level pathway.

The units are enclosed by a galvanized steel frame construction, with infill steel mesh panels, and timber panels as ventilated doors. This allows for an attractive and robust enclosure which allows for a considered solution to the external and communal/public spaces. A green roof is proposed on substrate structure, which will visually soften the impact of the structures, and also be aesthetically pleasing for residents on the upper apartment levels.

Reference Image; Bike Storage Enclosure with steel frame structure and selected hardwood timber cladding panels



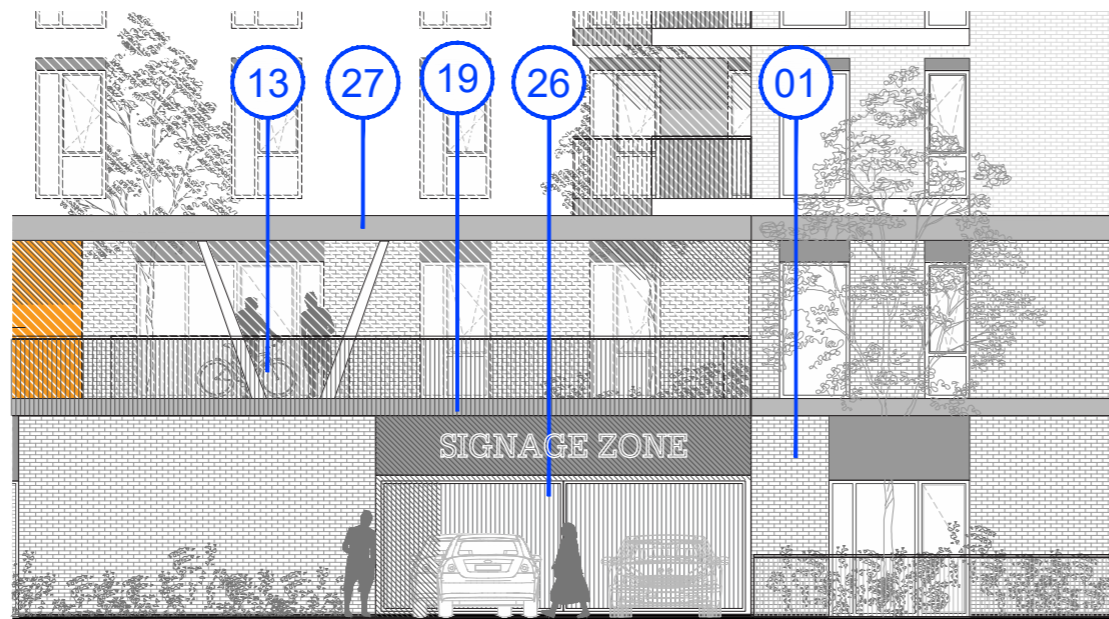
Material Expression - Carpark Entrances



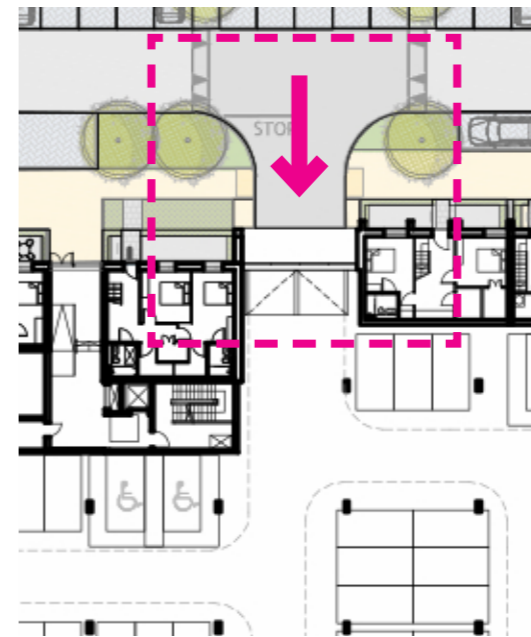
▲ Extract North Elevation of Block E Carpark Entrance



▲ Reference of a contemporary powdercoated steel carpark entrance gate with integrated clear wayfinding signage



▲ Extract East Elevation of Block F Carpark Entrance



Note:
Drawing to be read in conjunction with Materials Legend on Page 2

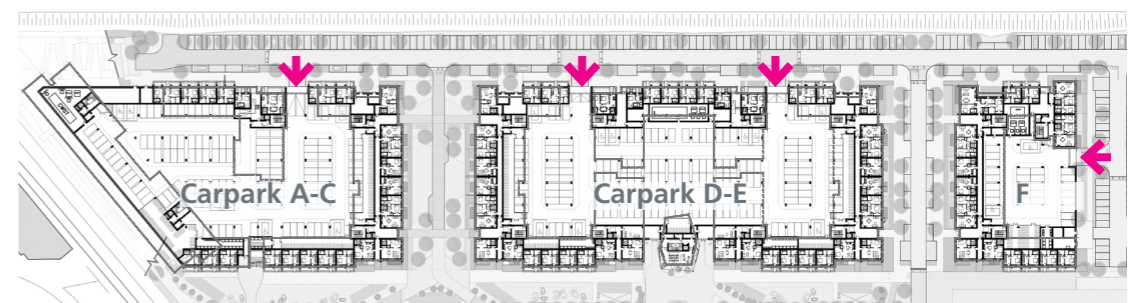
All of the carpark entrances are accessed at grade off the vehicular access streets, namely the northern street and the eastern street. They are integrated into the plinth that forms the base of all the blocks and are recessed back from the main facade to give them their own definition, whilst also allowing them to recede within the overall composition.

Entrances will be secured with well-designed heavy duty steel access gates, in a powder-coated finish and above the entrances will have an aluminium fascia in matching colour finish to provide a zone for wayfinding signage.



▲ Reference Image of well-designed carpark entrance gate

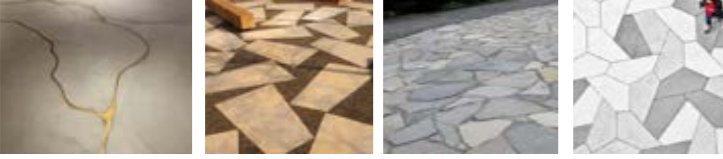
▼ Keyplan Carpark Entrances




Section 2 - Landscape Materials & Finishes

Hard Landscaping


Public Entrance: Flag Paving
Description: Entrance plaza for Block A-E. Area to be high quality and high interest, defining area. Pavers or Geometric PC Pavers, in Medium Grey.




Entrance Paving
Description: Entrance area for the Hotel and at the northwest corner of Block A, 200x200x60mm Graphite, striped with Silver, and/or similar approved




Central Plaza Paving
Description: Central Space. Cement asphalt surface, grey tones aggregate, and/or similar approved




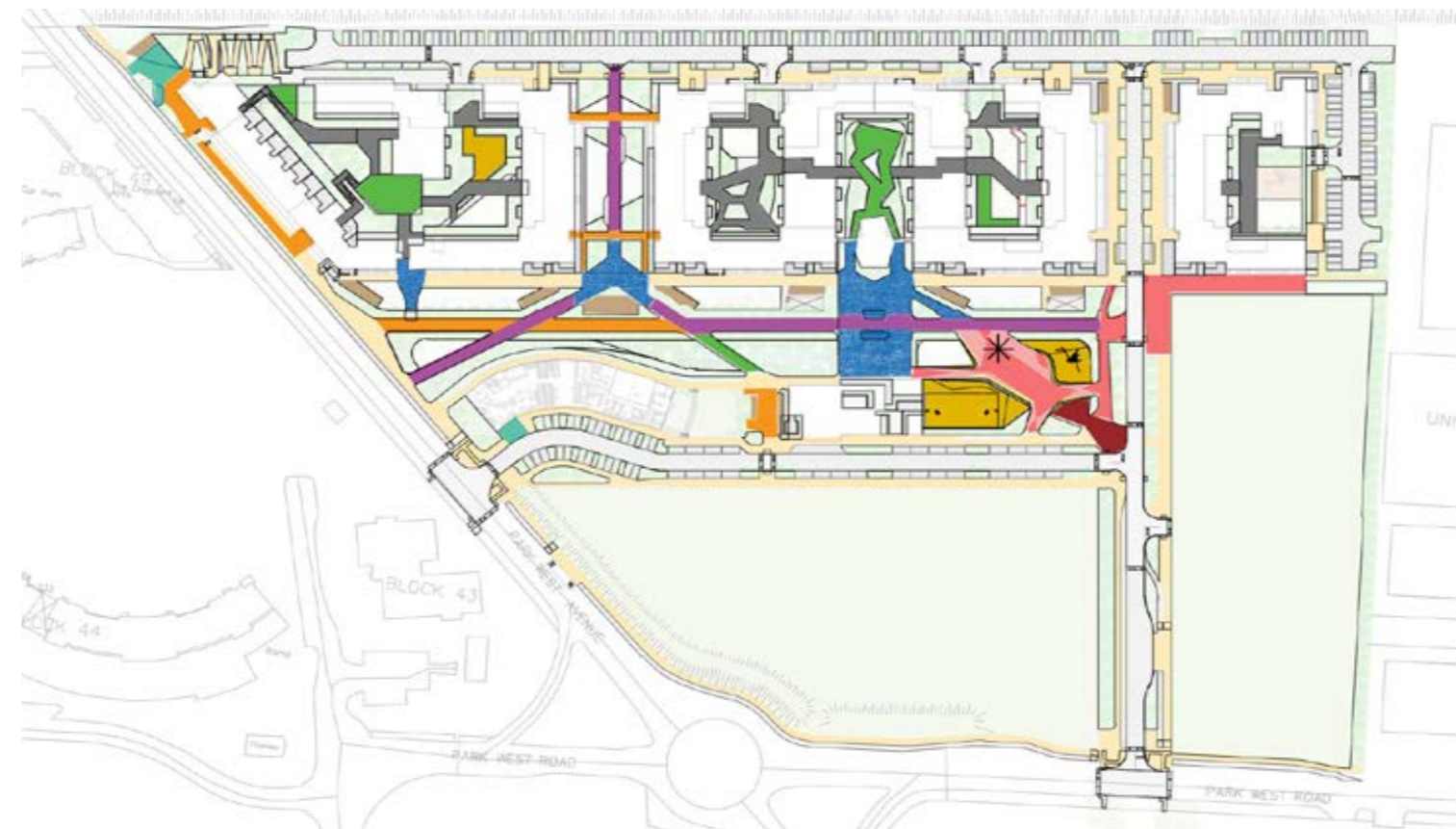
Central Plaza Entrance Paving
Description: stripe defining the shape and scale of the space.



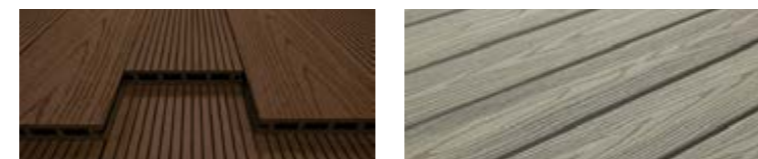
Central Circulation Areas
Description: secondary central park routes; concrete Paving, Random Stretcher Bond, Grey Tones, and/or similar approved



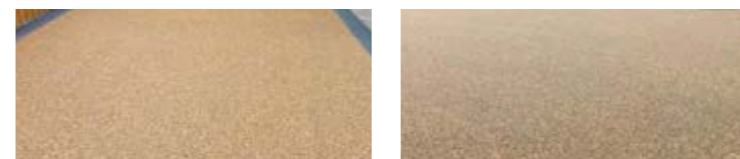
Podium Level Paving
Description: Communal Areas PC Paving and Central Hardscape Areas PC Paving, Anti Slip and Frost Resistant Courtyard Floor Tile.


Decking Area
Description: Bio-retention bridge/boardwalk; composite decking, walnut brown, and/or similar approved, Podium level composite decking; light brown, and/or similar approved.




Cycle Parking Surface
Description: vor similar approved



Proposed Footpath/Shared Lane
Description: General Footpath area or shared surface. In-situ concrete, Brushed Finish (to Engineers Specification).



Play Area
Description: Wetpour surface and/or Playsafe Mulch (Compliant with EN 1177).



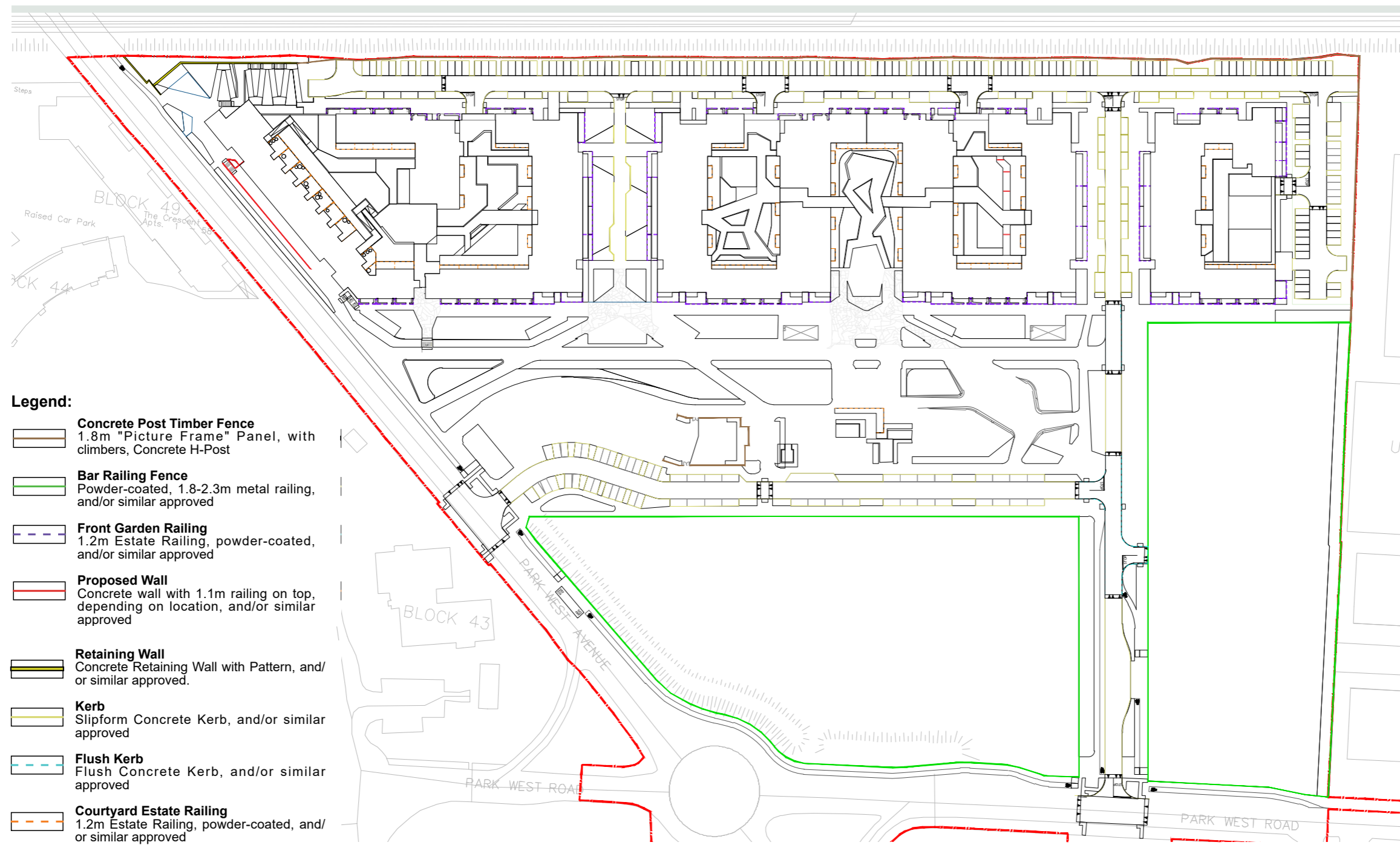
Hard Landscape Materials - treatment of landscaped areas, pathways, entrances:

External spaces are designed to create a sense of place and strong design forms. Practical considerations were also taken into account in the landscape design process. It is important to minimise hazards or impediments to access or movement and allow for a natural flow of pedestrians through the site to the greatest possible extent. Hard landscape surfaces are chosen for slip resistance, accessibility and to be compatible with SuDS and drainage proposals where necessary.

Placemaking was also a major concern within the public realm and will be reinforced by paving selection. Paving type, materiality, patina, texture, colour and pattern are all considered at this stage. The following is a sample palette of indicative paving types which are proposed in the different areas. The detailed design process following the planning stage will, of course, develop these typologies in parallel with consultation and compliance processes.

▲ Key of Hard Landscaping Materials
Image courtesy of Murray & Associates

Boundary Treatments



Boundary Treatments:

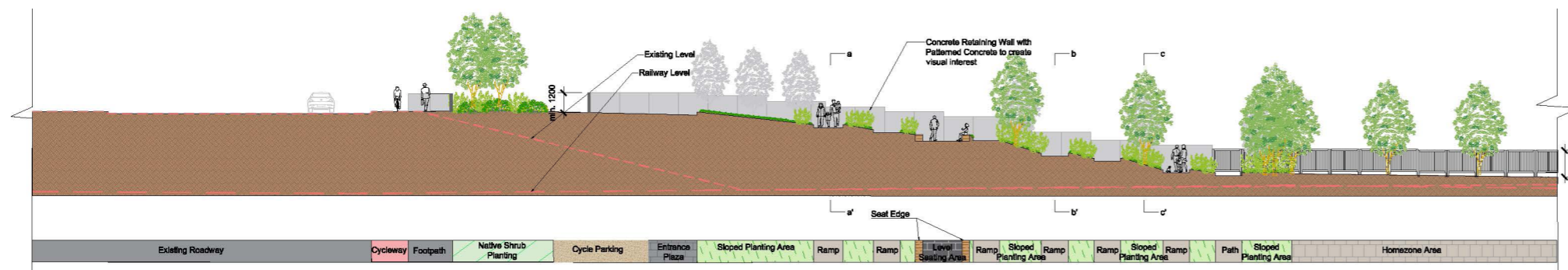
The site is bounded by the Dublin to Limerick/Waterford rail line to the north, an industrial complex to the east, and Park West Avenue and Road to the south and west. The land areas to the south of the development proposals (i.e. east and west of the access road) are designated for future development under the current masterplan, and these are enclosed with a temporary steel bar railing that will form a neat visual edge to the spaces at the interface with the existing paths and the development proposals, until they are built out. Along the eastern boundary is a line of native trees to divide the residential development area from the adjacent commercial development. The trees proposed for this interface would consist of trees with an upright, fastigate form, such as: *Alnus glutinosa* 'Imperialis' (upright cultivar of native Alder), *Quercus robur* 'Fastigate Koster' (upright cultivar of native Oak), and/or *Carpinus betulus* 'Fastigiata' (upright cultivar of Hornbeam). Along the west of the development area, there are new buildings with the existing hotel to the south.

To the north of the site, the street parallel to the rail line will be detailed to create a high-quality environment in terms of hard landscape treatments and verdant, green soft landscape. The boundary with the railway will be defined by a timber panel fence with concrete posts for durability, and native shrub and climbing plants. The timber fence will impart a softness to the edge of the space, together with the climbing plants and groundcover shrubs, but will also be visually impermeable so the trains passing won't be visible. The main species proposed here are as follows: various ferns (*Polystichum setiferum*, *Polypodium vulgare*, *Athyrium filix-femina*); Shrubs & Climbers: Ivy (*Hedera helix*), native Roses (*Rosa canina*, *Rosa pimpinellifolia*), Honeysuckle (*Lonicera*

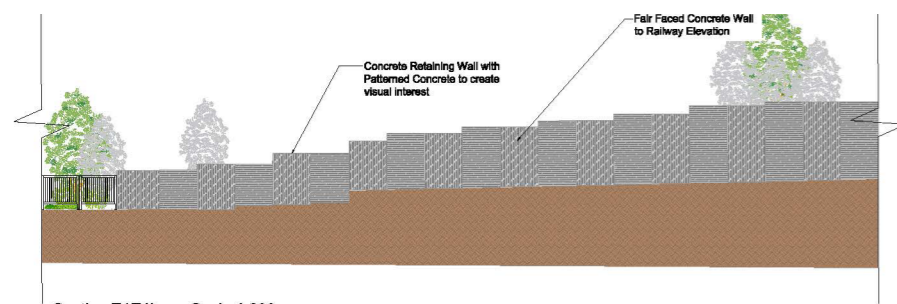
...continued on next page

▲ Key of Boundary Treatments
Image courtesy of Murray & Associates

Boundary Treatments continued

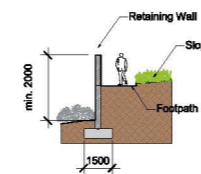


Section EE' Scale 1:200

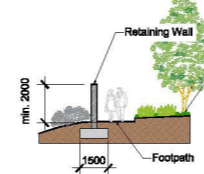


Section E1E1' Scale 1:200

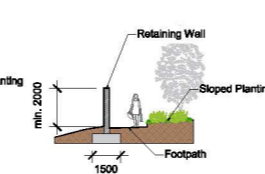
▲ Details of Northern boundary treatment to Railway Avenue
Image courtesy of Murray & Associates



Section aa' Scale 1:200

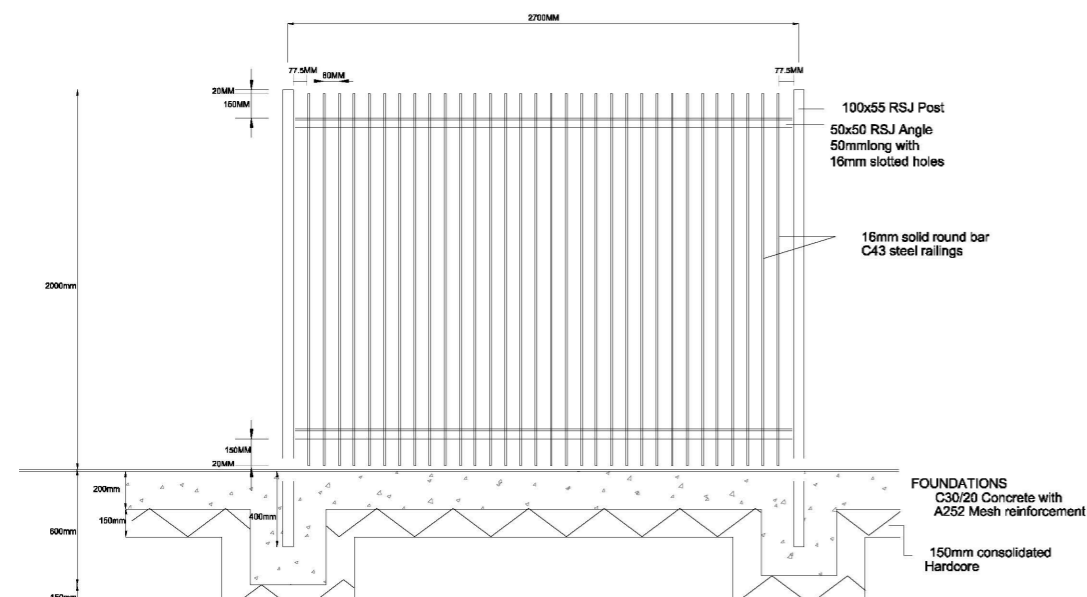
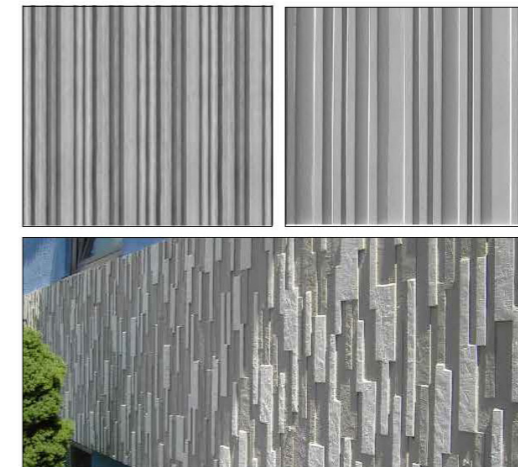


Section bb' Scale 1:200



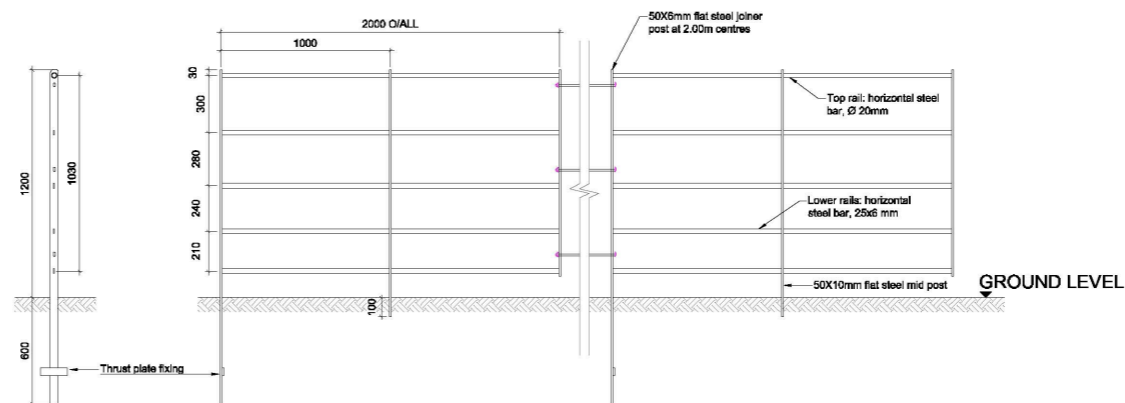
Section cc' Scale 1:200

Indicative Images to Retaining Wall Surface

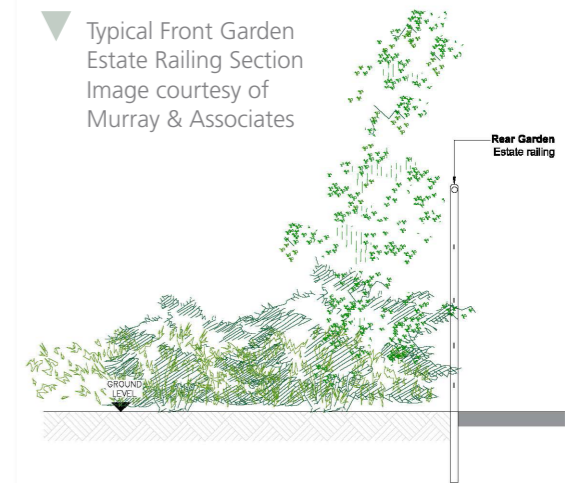


▲ Typical Bar Railing Fence detail
Image courtesy of Murray & Associates

▼ Typical Front Garden Estate Railing Elevation
Image courtesy of Murray & Associates



▼ Typical Front Garden Estate Railing Section
Image courtesy of Murray & Associates



periclymenum), Holly (*Ilex aquifolium*), Blackthorn (*Prunus spinosa*), Elder (*Sambucus nigra*), Guelder Rose (*Viburnum opulus*), Dogwood (*Cornus sanguinea*), and Willows (*Salix purpurea*, *Salix aurita*, *Salix caprea*). The electrical cables currently running along this boundary will be undergrounded through the site, which will also improve the boundary area.

Car parking spaces will be paved to give visual texture and visual distinctiveness from the road scale, helping to further break down the spaces and reduce the scale to human scale. Around front gardens, high quality reconstituted stone concrete pavers and groundcover planting will be proposed along the northern boundary street and throughout the development.

In terms of garden boundaries, front gardens interfacing with the street will have an estate railing type fence, usually with hedge or shrub planting to form a visually coherent, secure and private boundary with the public realm.

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